

# Donnybrae Design Guidelines

Version 2  
October 2017



  
DONNYBRAE



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## *1 Introduction*

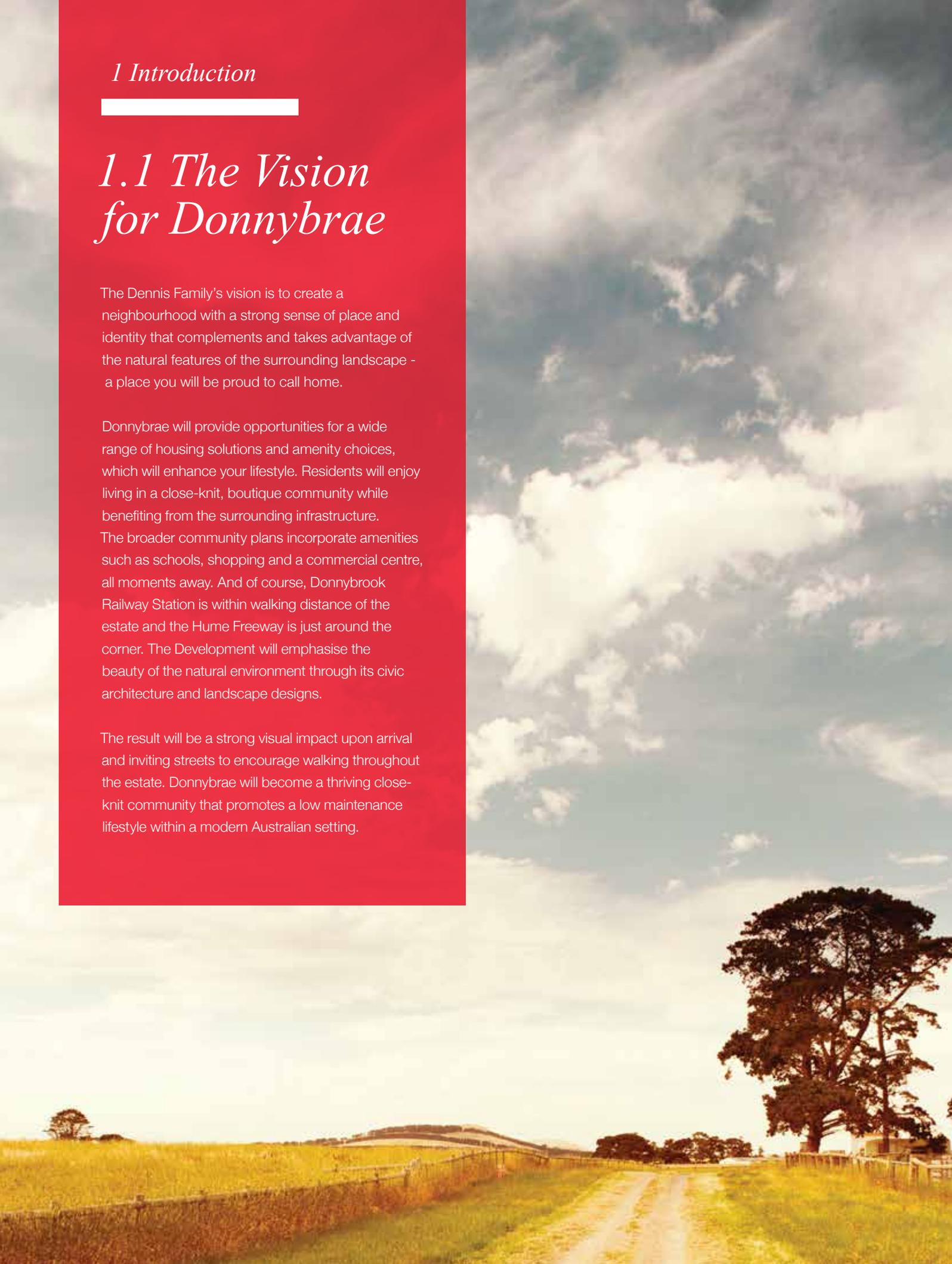
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# *1.1 The Vision for Donnybrae*

The Dennis Family's vision is to create a neighbourhood with a strong sense of place and identity that complements and takes advantage of the natural features of the surrounding landscape - a place you will be proud to call home.

Donnybrae will provide opportunities for a wide range of housing solutions and amenity choices, which will enhance your lifestyle. Residents will enjoy living in a close-knit, boutique community while benefiting from the surrounding infrastructure. The broader community plans incorporate amenities such as schools, shopping and a commercial centre, all moments away. And of course, Donnybrook Railway Station is within walking distance of the estate and the Hume Freeway is just around the corner. The Development will emphasise the beauty of the natural environment through its civic architecture and landscape designs.

The result will be a strong visual impact upon arrival and inviting streets to encourage walking throughout the estate. Donnybrae will become a thriving close-knit community that promotes a low maintenance lifestyle within a modern Australian setting.



## 1.2 The Aim of the Guidelines

The aim of the guidelines is to provide the framework to achieve a high standard of housing design and construction with an identifiable degree of visual cohesion that supports the vision for Donnybrae.

The guidelines are in effect at Donnybrae to make sure that:

- An identifiable degree of visual cohesion and colour between houses and other built elements is achieved
- Houses are designed to provide cohesion between neighbouring lots
- Residential amenity is protected
- Attractive gardens, streetscapes and parklands are created.

All development should aim to comply with these guidelines. In exceptional circumstances, variations to the guidelines will be considered provided that there is a positive contribution to the project vision.

## 1.3 Design Approval Process and Building Permits

All purchasers and owners of lots must have their plans approved by the Donnybrae Design Panel whose approval may be withheld at its absolute discretion notwithstanding compliance with the guidelines. Early contact with the Donnybrae Design Panel is encouraged so that unnecessary delay is avoided.

Construction of houses, related works or ancillary structures on any lot at Donnybrae cannot commence until the Donnybrae Design Panel has approved the plans in their entirety. Separately,



Restrictions on title.

Only a Registered Building Surveyor can issue a building permit and building approval cannot be granted until the Donnybrae Design Panel has approved the plans.

The guidelines do not replace the Building Regulations or the Whittlesea Planning Scheme. Purchasers of lots at Donnybrae should contact their Building Surveyor to ensure house designs comply with all relevant statutory requirements.

Adherence to the Donnybrae Design Guidelines and approval by the Donnybrae Design Panel, does not constitute building approval. Further approval will need to be sought from your building surveyor, to ensure compliance with the Whittlesea Planning Scheme and Building Regulations.

## 1.4 Number of Dwellings per Lot

Only one dwelling may be constructed on a lot.

A lot must not be further subdivided.

## 1.5 Timeframe for Dwelling Construction

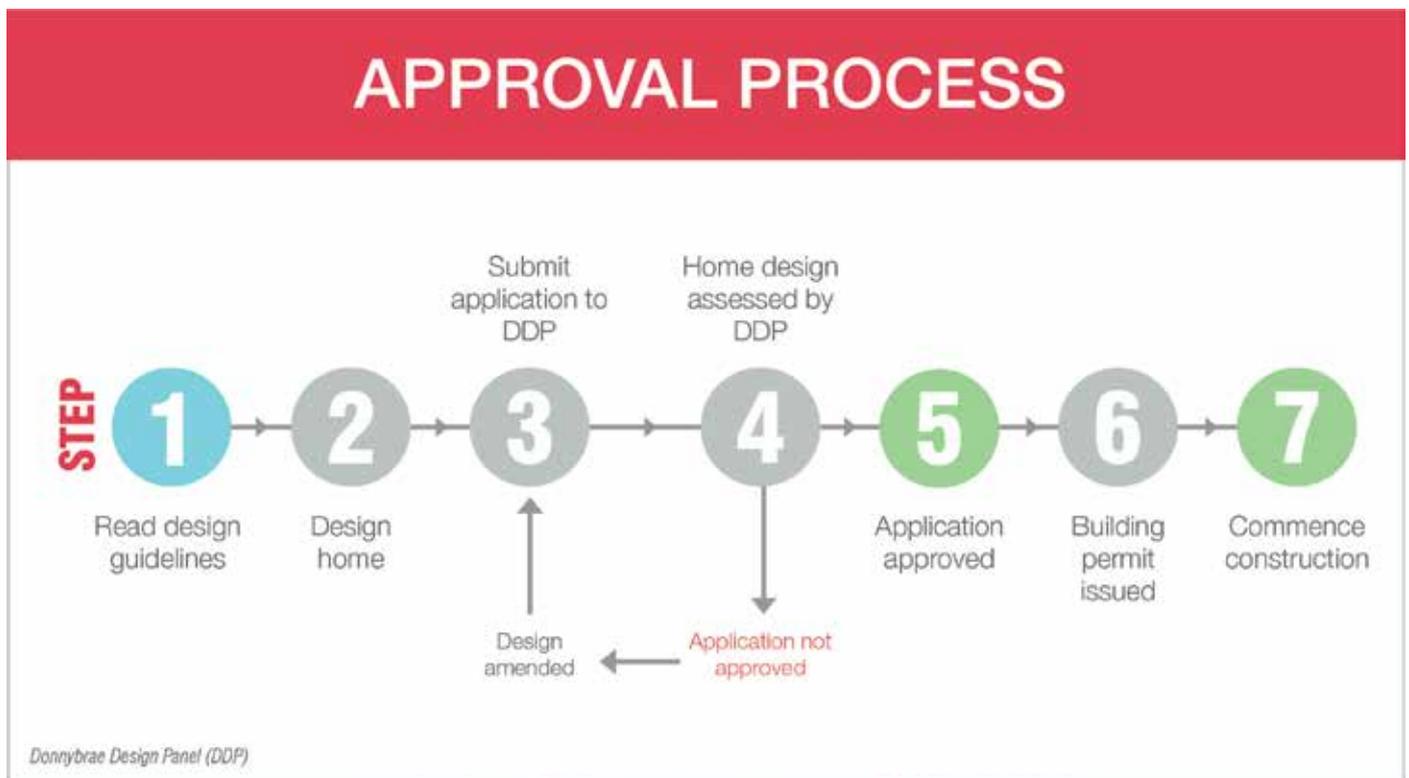
The construction of a dwelling must commence within 12 months of settlement and be completed within 24 months.

## 1.6 Approval Procedure for Plans

The Donnybrae Design Panel will provide information and advice to purchasers and builders at Donnybrae regarding the guidelines. In particular, advice can be provided at the initial concept plan stage and at the preliminary selection of materials, colours and finishes stage. The Donnybrae Design Panel will use their best endeavours to approve plans in the shortest possible time, and generally, within ten working days.

House approval is at the discretion of the Donnybrae Design Panel. No claims can be made against Council, DFC (Donnybrook) Pty Ltd or their associated entities and nominated representative with respect to any decision of the Donnybrae Design Panel or actions taken by purchasers in connection with the guidelines.

### Approval Process



Plans should be emailed to:  
[dobbybraedesignpanel@denniscorp.com.au](mailto:dobbybraedesignpanel@denniscorp.com.au)

Alternatively plans should be sent to:  
Donnybrae Design Panel  
DFC (Donnybrook) Pty Ltd  
211 Waverley Road  
Malvern East VIC 3145

Refer to Section 8 'Information Checklist' for details of plans and information to be submitted.

### 2.1 Building Envelopes

Lots greater than 300 square metres and with a frontage of 10.5 metres or less are affected by a building envelope, as detailed on the relevant Plan of Subdivision. Development of these affected lots must be in accordance with the building envelope on the Plan of Subdivision.

### 2.2 Small Lot Housing Code Lots

If your lot is less than 300 square metres in area, it must comply with the requirements of the Small Lot Housing Code and these guidelines or, alternatively, a separate Planning Permit process. Where there is a conflict between these guidelines and the Small Lot Housing Code, the Small Lot Housing Code shall take precedence except for fencing and setback requirements.

A copy of the Small Lot Housing Code can be obtained from your Building Surveyor or the City of Whittlesea.

Your Building Surveyor will guide you through the approvals process under the Small Lot Housing Code or the alternative Planning Permit process.

### 2.3 Bushfire Attack Level (BAL) Lots

Lots in Donnybrae may be included within a Bushfire Prone Area under the Building Act 1993 and hence subject to a Bushfire Attack Level (BAL) assessment. Owners and builders are encouraged to investigate if this requirement applies and, if applicable, design their house to suit the relevant BAL level as determined by their Building Surveyor.

### 2.4 Landmark Lots

Lots designated as 'LL' (Landmark Lots) on the plan of subdivision are located in high profile positions within the estate and it is particularly important that the homes constructed on these lots reflect the high standards of the estate. Therefore the quality of the architecture and landscape design on these lots is of particular importance. These lots may be located on street corners, adjacent to parkland, or may be highly visible from within and outside the development.

Particular attention must be paid to the design and siting of housing on these lots. In addition to any other requirement, houses on Landmark Lots must be designed to address the street frontage(s) and address any abutting or adjacent Public Space and incorporate:

- large windows overlooking any public space
- a roof pitch of 25 degrees
- single storey homes must have a minimum ceiling height of 2.7 metres
- a balcony at the first floor level addressing the principal frontage if a two storey house is proposed
- eaves of at least 450mm to the front façade which must wrap around corners by a minimum of 3 metres, including roofs above entrance porticos and the full length of the façade addressing the secondary frontage or public space
- articulation with projected and recessed building elements, verandahs or awnings to create visual interest to buildings
- a minimum 30% must be a secondary material on the front façade
- for double storey homes located on corner lots, the side wall on the first level facing the secondary street must not be constructed less than 900mm from the ground level wall that faces a side street or; the side wall on a corner lot must not be constructed with less than 30% glazing for the area of the wall and less than 70% contrasting material finish for the length of the wall.

## 3 *Design Principles for all Dwellings*

### 3.1 Design Principles

The design vernacular for Donnybrae is Contemporary Australian. Designs mimicking period styles such as Edwardian, Federation, Colonial, Georgian, neo-classical, French Provincial and Victorian will not be approved.

Second hand, portable buildings, caravans, relocated homes and kit homes are not permitted to be constructed at Donnybrae and will not be approved.

Dwellings constructed of second hand materials are not permitted, however, the Donnybrae Design Panel, at its sole discretion, may consider the use of second hand bricks as part of an attractive design response.

### 3.2 Principal Façade

The principal street frontage is defined as:

- For lots with only one street frontage, the principal street frontage shall be that frontage
- For lots with two street frontages, the shorter street frontage shall be the principal street frontage and the other street frontage the secondary street frontage
- If the two street frontages are of equal length then the purchaser should contact the Donnybrae Design Panel to determine which street frontage will be designated the principal street frontage for the purposes of the guidelines.

Façades of houses must be articulated to prevent a flat or nondescript façade. Articulation may be achieved in a variety of ways including stepping back elements of the façade, the inclusion of bay windows and balconies, verandahs and porches, feature panels, rendered finishes and through the incorporation of architectural elements. Any one material, unless suitable articulation can be achieved, cannot comprise more than 70% of the area of the principal façade.

The main entry of the house must address the principal street frontage.

No lightweight infill panels over windows and garage doors will be allowed on the principal façade except where part of an approved feature design, or where the façade is a render finish.

Features which, in the opinion of the Donnybrae Design Panel, may detract from the appearance of a house from the street, including small windows, obscure and tinted glass or reflective, frosted or patterned film, window security shields, canvas and metal awnings, will not be approved.

### 3.3 Duplication of Principal Façade in the Streetscape

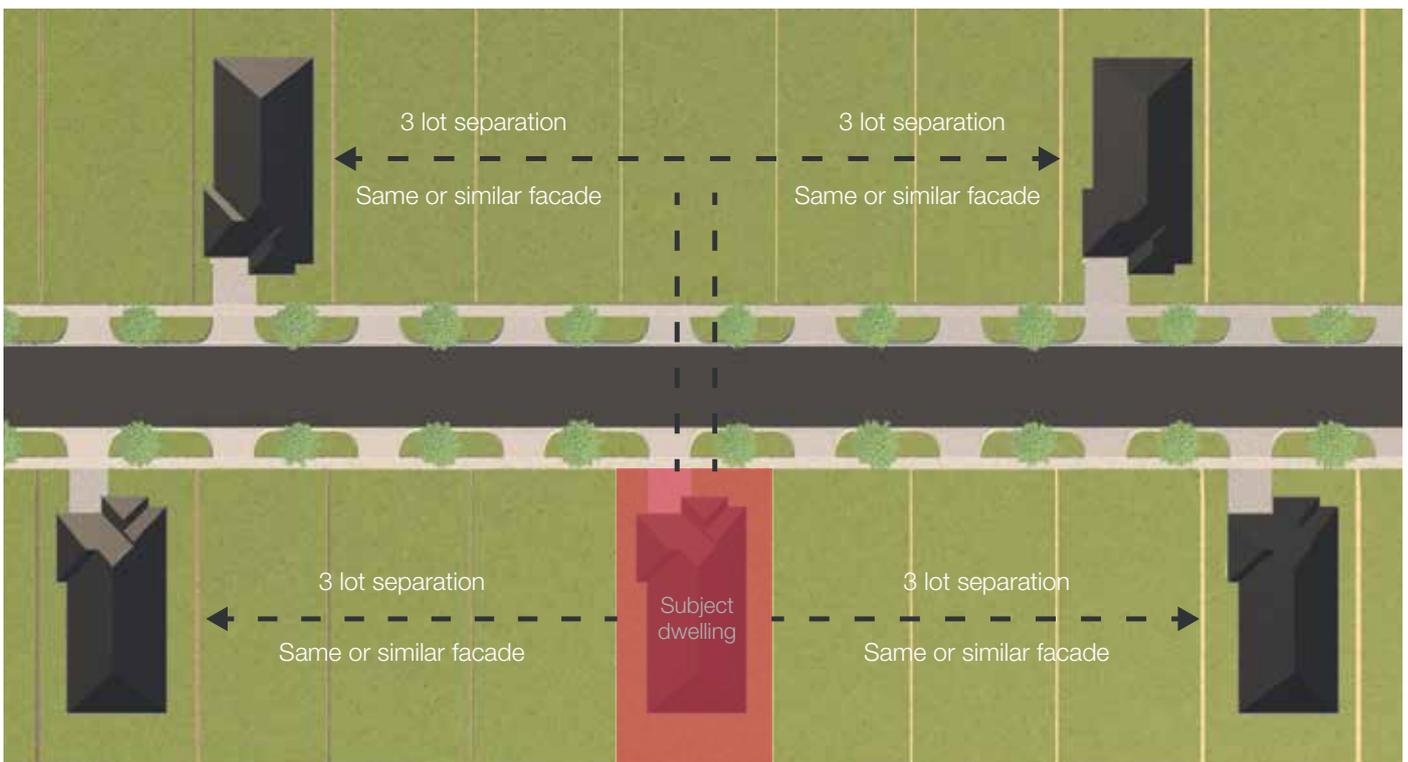
A dwelling must not have a front façade design that is the same or very similar to that of a home within 3 lots either side or on the opposite side of the street as illustrated in the following diagram. Where a conflict arises preference will be given to the first submitted and approved set of plans.

This requirement does not apply where attached or terraced style dwellings are proposed.

### 3.4 Roof Pitch and Design

A minimum roof pitch of 22.5 degrees and maximum of 25 degrees is required for dwellings and garages unless it is a skillion or curved roof. A reduced roof pitch will only be considered when part of an approved architectural design.

Roof designs that present a gable end to the principal street frontage will not be approved unless part of an entrance portico, feature or exceptional architectural design.



### 3.5 Front Setback

A minimum setback of 4 metres is required on all lots between the front building line of the house and the front property boundary. Porches, verandahs, pergolas, eaves, fascia and gutters can encroach up to 1.5 metres into the front setback.

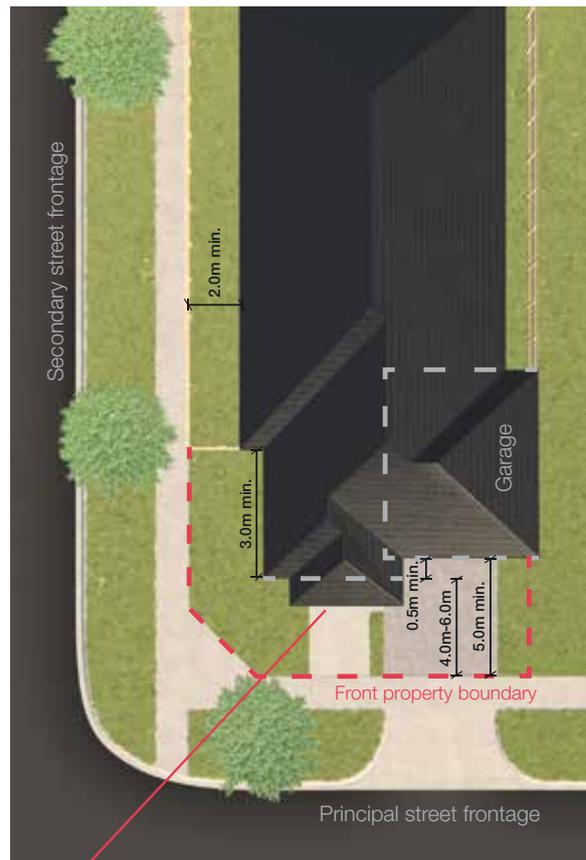
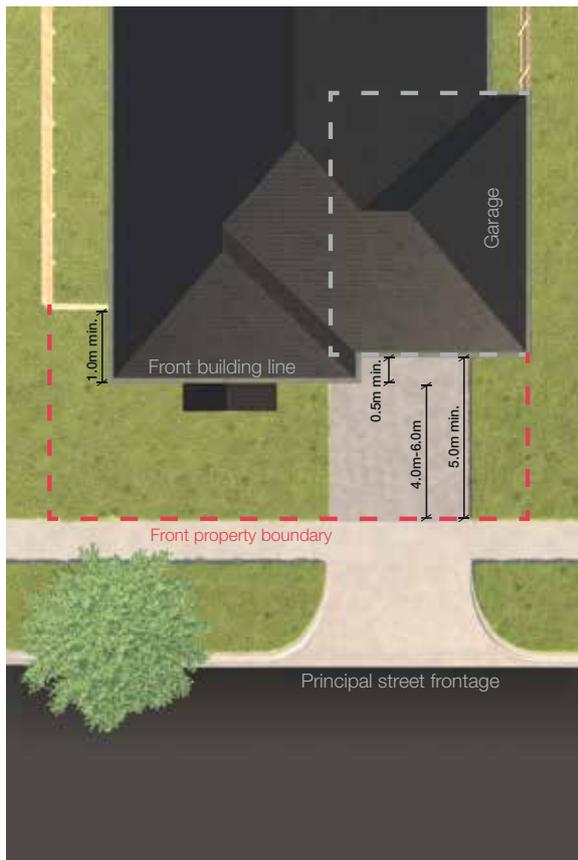
The maximum setback on all lots including corner lots between the front building line of the house and the front property boundary is 6 metres unless otherwise approved by the Donnybrae Design Panel.

On corner lots, a minimum setback of 4 metres is required to the principal street frontage and 2 metres to the side (secondary) street frontage.

Garages must have a minimum front setback of 5 metres and be at least 0.5 metres behind the front building line.

### 3.6 Side and Rear Setbacks

Garage and other walls which are not directly on a boundary are to be set back a minimum of 1 metre. The minimum rear setback must be the greater of 2.5m or width of any easement.



Porches, verandahs, pergolas, eaves, fascia and gutters can encroach by up to 1.5m

### 3.7 Garages and Driveway

Carports fronting the street are not permitted at Donnybrae. Carports may be permitted behind the garage.

Garage doors are a major visual element of the streetscape. Accordingly, doors facing the street are required to be panel lift or sectional and must be of materials and colours which complement the house.

Lots with a frontage of 10 metres or less can only contain a single garage where access is proposed from the lot frontage.

Lots with a frontage greater than 10 metres and less than 12.5 metres must not contain garage doors that exceed 4.8 metres.

For lots with a frontage greater than or equal to 12.5 metres, the total width of garage doors (whether single or multiple doors), facing a street, cannot exceed 6 metres.

The Donnybrae Design Panel will consider garage doors of a width greater than 6 metres provided the frontage of the lot is greater than 18 metres and articulation additional to the requirements of section 3.2 such as an additional step of at least 0.5 metres to the front of the garage and a change to the roof form is provided.

The parking of commercial and utility vehicles including trucks, vans and trailers, boats and caravans are to be accommodated within or behind the garage and must not be visible from the street.

The driveways and paths should be clearly identified on the plans submitted to the Donnybrae Design Panel for approval.

Approved finishes include:

- Exposed aggregate concrete finishes, or
- Coloured concrete

Plain, uncoloured concrete is not permitted.

Driveways must not be wider than 3.5 metres at the property boundary and must match existing crossover.

All driveways must be constructed prior to occupancy.

Only one driveway will be permitted for each lot. In some cases changes to the position of driveways will be considered. Any changes will require approval of the Donnybrae Design Panel (whose approval can be withheld at its absolute discretion) and the City of Whittlesea. If the driveway is proposed to be relocated, permission must be sought as part of the housing approval application under these guidelines.

The purchaser is responsible for all costs associated with removing the existing crossover, constructing the new crossover (including reinstating the landscaping in the affected area) and meeting any requirements of the City of Whittlesea.

It may not always be possible to accommodate crossover change requests within the construction programme, but where possible, the developer will assist.

### 3.8 House Orientation and Solar Access

All dwellings must achieve an energy rating in accordance with current Building Regulations.

Where practicable, houses are to be sited to maximise the benefits of solar orientation i.e. habitable rooms and private open space face northwards to receive maximum solar energy.

### 3.9 Corner Lots

Dwelling façades on corner lots must be designed to address both the principal and secondary street frontages and the use of consistent architectural elements across these façades is required.

Architectural elements used in the main façade must be replicated within the first 3 metres of the secondary street frontage. Other alternative treatments can be submitted for consideration by the Donnybrae Design Panel.

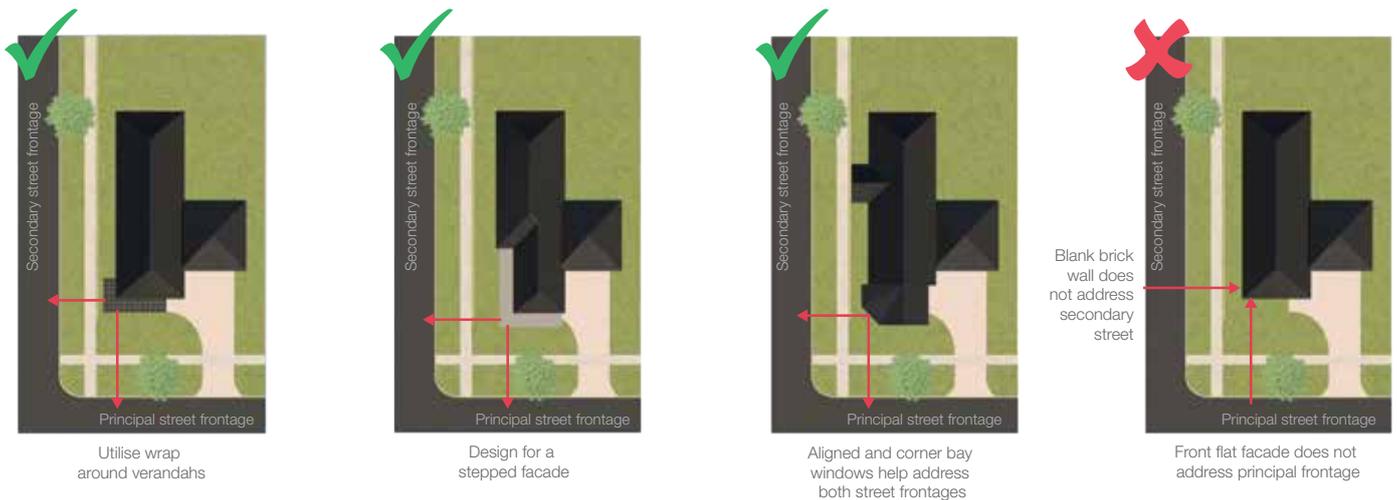
Flat façades and blank brick walls must be avoided. Houses which do not satisfactorily address both street frontages will not be approved by the Donnybrae Design Panel. Diagrams below provide examples to illustrate appropriate and inappropriate corner lot treatments.

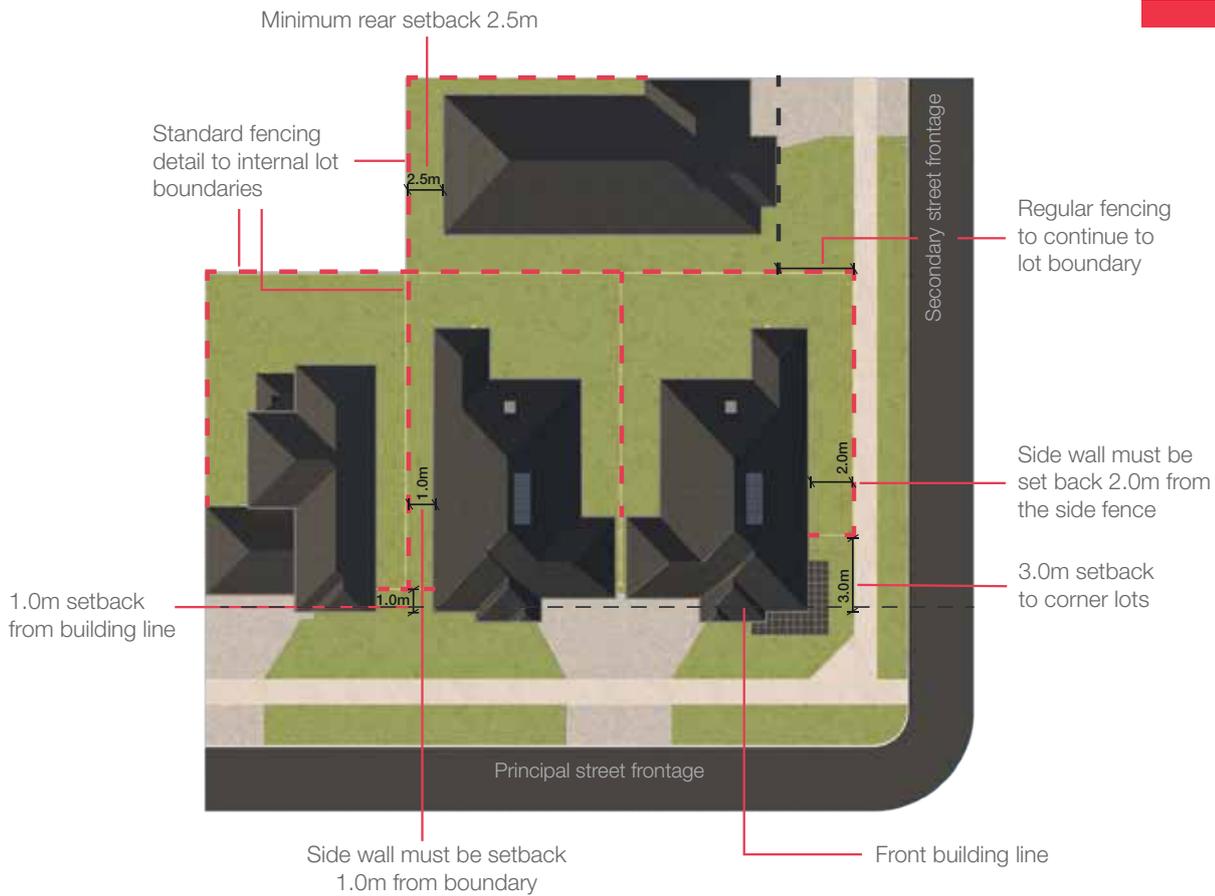
Habitable room windows must overlook the principal and secondary street frontages and external services must not be visible from a street or a public space. Service room windows (bathroom/laundry) must not overlook any street frontages.

Elements such as porticos, verandahs and approved feature elements may encroach into the secondary street setback up to 0.5 metres.

If in doubt about whether your house design will comply with corner lot requirements, it is strongly recommended that you submit a preliminary design to the Donnybrae Design Panel for comments and advice.

For double storey homes located on corner lots, the side wall on the first level facing the secondary street must not be constructed less than 900mm from the ground level wall that faces a side streets or; the side wall of any dwelling on a corner lot must not be constructed with less than 30% glazing for the area of the wall and less than 70% contrasting material finish for the length of the wall.





### 3.10 Fencing

Front fencing is not permitted on any lot.

Fencing costs and any associated approval requirements are the responsibility of lot owners, and all fencing must be completed within 60 days of occupation.

Where fencing adjoins a park or open space reserve, the fencing cost is shared equally between the lot owner and the developer.

Unless otherwise specified, all side and rear fences must be timber paling, capped and lapped and cannot exceed 2 metres in height.

All side boundary fences must finish 1 metre behind the front building line.

On corner lots the fence along the secondary street frontage must be setback from the front building line by a minimum of 3 metres. This fence must conceal any hot water unit, heating, air conditioning, clothesline or other plant and equipment from public view.

In some cases the developer will construct feature fencing to open space and lot boundaries designated on the Plan of Sub-division. Lot owners cannot remove or change the appearance of these fences without the written approval of the Donnybrae Design Panel. Lot owners are responsible for maintaining any feature fence on their boundary in good order.

#### CAPPED TIMBER PALING FENCE DETAIL 90 x 50mm nom. Cypress Pine capping



### 3.11 Retaining Walls

Retaining walls should make a positive visual contribution to the streetscape. Their design should provide a safe environment to both cars and pedestrians accessing the allotment and using the street. Retaining walls are to be constructed of rock, render or faced brick complementing the materials used in the principal façade.

Concrete or timber sleeper retaining walls will not be permitted where they are visible from the street or public space.

Retaining walls must not exceed 1 metre in height unless they are terraced to allow for landscaping to break the overall height of the wall. A planted strip of minimum width of 0.5 metres is to be provided between terraced walls.

A boundary fence above a retaining wall must be setback a minimum of 0.75 metres with a landscape strip and must not exceed 2 metres in height and comply with standard detail.

### 3.12 External Fixtures

The general position of the following external fixtures must achieve the objective stated below and be shown on the house and site plans submitted for approval to the Donnybrae Design Panel.

#### Clotheslines and Garden Sheds

Clotheslines and garden sheds must not be visible from the street.

#### Roof Mounted Solar Hot Water & Photo-voltaic Panels

These panels must not be mounted facing the principal street frontage. However, on corner lots, panels may be located on the roof facing the secondary street frontage.



Artist's Impression

### External Hot Water Services, Air-conditioning, Evaporative Cooling Units and Plumbing

Hot water services and air-conditioning and cooling units must not be visible from the street. Exposed plumbing and waste piping is not permitted on any façade.

Air-conditioners must be located below the eaves line, screened from public view and be suitably baffled to reduce noise. Evaporative cooling units must be located below the roof ridgeline and at the rear of the house, be of low profile and of a colour to match the roof.

### Television Antennae

Television antennae must be located within the roof of the house.

### Satellite Dishes

Satellite dishes must not be visible from the street or other public space.

### Rainwater Harvesting Tanks

Rainwater harvesting tanks should not be visible from the street and are to be of a material and colour which complements the house.

### Garbage Bins

Garbage bins must be stored out of public view.



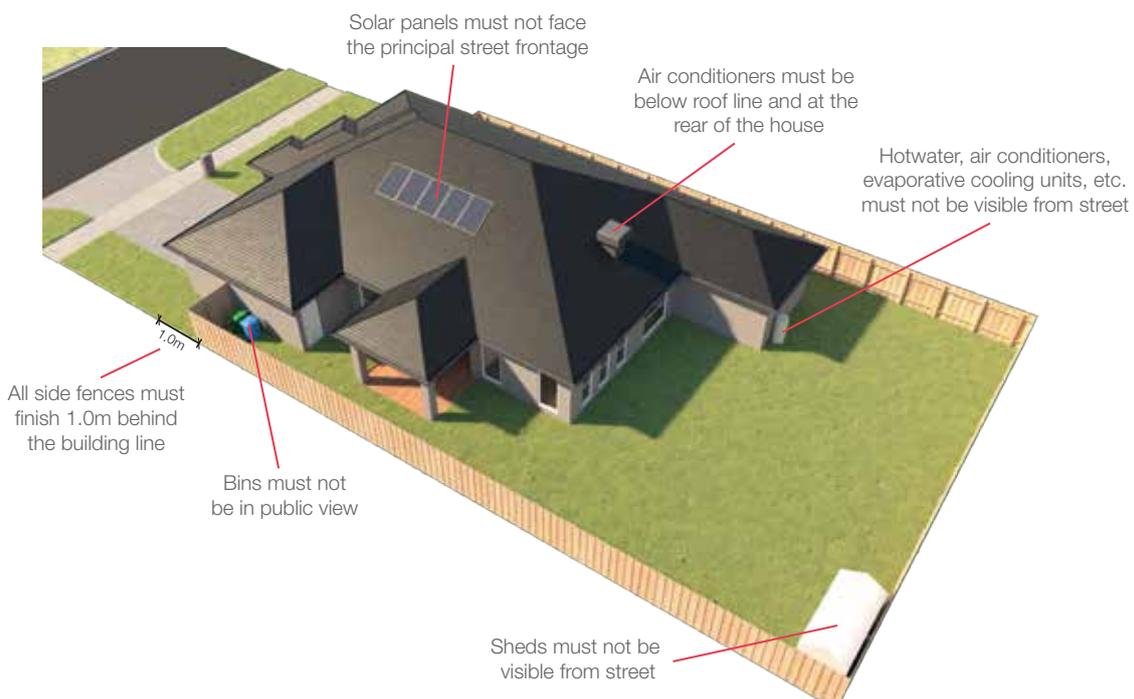
### Letter Boxes

Letter boxes must be positioned on the front boundary adjacent to the driveway with the house number clearly displayed. Letter boxes must be a rendered, plain, unarticulated, pillar design and the colour should be carefully selected to complement the colour of the principal façade of the house.

Temporary, ornamental or single post supported letter boxes will not be permitted. The location, style and colour of the letter box must be provided on the plans submitted for approval.

### Signage

The promotion of houses for sale and the advertising of builders during the construction of a house will be limited to one sign for each property unless the Donnybrae Design Panel gives prior approval.



### 4.1 General

The materials and colours of the walls and roofs of houses will have a major impact on the visual quality of Donnybrae.

Any features which in the opinion of the Donnybrae Design Panel, may detract from the appearance of a house from the street, including small windows, obscure glass, window security shields, canvas and metal awnings, will not be approved.

### 4.2 Materials

Walls of houses visible from public areas must be predominantly constructed of face brickwork, rendered or bagged brick, or natural stone. Other materials may be considered by the Donnybrae Design Panel at its discretion.

Special emphasis (e.g. feature panels, rendered finishes etc.), must be placed on the elevations that address streets and public spaces.

Roof materials must be a matt finish concrete or terracotta tile, slate, or matt finish powder coated metal. Galvanised steel roof and vivid colours will not be permitted.

Plans submitted to the Donnybrae Design Panel for approval must include a schedule of wall, trim and roof materials and colours. The Australian Standard Reference Number for the colour selected must be included for identification.

### 4.3 Colours

The preferred colour palette for use at Donnybrae are earth tones. Vibrant colours are not permitted for use in the façade or body of the home, roofing or fencing. However they may be considered by the Donnybrae Design Panel when used to accentuate architectural elements.

Trim colours must complement the main body of the house.

Gutter and downpipe colours are to match roof colour or complement the main body of the house.

Darker roofs are preferred as they anchor the building to the ground plane, blending a sense of dignity and smartness to the appearance of the development.

Fences must not be painted with vibrant colours.

### 5.1 Recycled Water

Yarra Valley Water expects that recycled water will be available to Donnybrae by 2019/20. Connection to the recycled water infrastructure (e.g. purple pipe) is a requirement of Yarra Valley Water.

### 5.2 Communications

Donnybrae will be provided with “fibre to the home” infrastructure via an agreement with Opticomm, offering access to high speed broadband internet, telephone, digital “free to air” television and pay television as well as possible future services such as IPTV, home security, video on demand and more.

It is important to ensure that your home is capable of connecting to the Opticomm fibre network (refer to [www.opticomm.net.au](http://www.opticomm.net.au) for cable entry guidelines) and your home is wired to enable the delivery of the digital services available on the cable. Connection to a copper wire phone network is not available.

The fibre cable will be installed in the street, however you will need to arrange to extend the cable to an appropriate connection point in your house. This will require a wiring configuration which is consistent with these services and which may require a dedicated power supply for the telecommunications equipment.

### 5.3 Maintenance and Builder Debris

The City of Whittlesea Local Laws require owners to maintain their vacant land in a safe and tidy condition.

Vacant allotments within Donnybrae must be regularly maintained. This includes, but is not limited to, the following:

- Mowing of grass including nature strips/verges, including secondary street frontage for corner allotments
- Removal of litter, rubbish and other debris.

The City of Whittlesea Building Site Code of Practice requires all building debris to be contained within the property boundaries and within a refuse receptacle with a fixed closed lid.

You must ensure your builder complies with the Code of Practice and empties bins as and when required.

## 6 Garden Landscaping

### 6.1 General Requirements

The vision for Donnybrae places emphasis on the landscape quality of parks, streetscapes and private gardens. Appropriate front and side street garden (for corner lots) design, material and plant selection forms a key part in realising the Donnybrae Vision.

Garden designs should complement the Australian Contemporary architecture and support the Donnybrae Vision for preserving and celebrating the natural heritage of the surrounding landscape.

For all lots in Donnybrae, front and side street gardens (for corner lots) must be installed within 6 months of the issue of the Certificate of Occupancy of your dwelling. If this is issued between 1 November and 31 January landscaping must be completed by no later than 31 May (allowing for landscapes to be installed outside of the summer months).

### 6.2 Minimum Garden Requirements for All Lots

Landscaping of the front and side street (for corner lots) garden should include the planting of lawn, suitable trees and shrubs. The following are minimum standards that must be met for all lots. Landmark Lots must submit a landscaping plan for the front garden for approval by the Donnybrae Design Panel as part of the house design approval application.

As a minimum, the following must be undertaken for each front garden:

- Remove all rubbish, rubble and weeds
- Grade and shape garden beds and lawn areas
- Installation of at least one tree (min 1.5 metres high)
- A garden bed at least 0.5 metres wide must be provided between the driveway and the property boundary
- Installation of shrubs and/or ground covers as indicated in the table below
- Install 80mm depth of mulch to all garden bed areas
- Install 200mm depth of top soil to all garden bed areas
- Install 100mm depth of top soil to lawn areas
- Install warm season lawn (pre-grown turf), such as Kikuyu species, as indicated in the table below.

The following table provides a guide to the required percentage of your front garden to be allocated to lawn, plants, paths and driveway in order to satisfy the garden requirements of these guidelines.

Lot Frontage	Hardscape*	Softscape**	Garden Beds	Lawn	Minimum No of Plants***
10.5	70%	30%	75%	25%	40
12.5	65%	35%	75%	25%	60
14	55%	45%	60%	40%	65
16	50%	50%	55%	45%	75
18	45%	55%	50%	50%	80
20	40%	60%	45%	55%	95

\*Hardscape is defined as impermeables such as driveways and paths

\*\*Softscape is defined as garden beds and lawn areas

\*\*\*Minimum number of plants calculated assuming 155mm pot size

### 6.3 Approved Plant Species

The plant palette below contains a list of suitable Australian native species and selected exotic species (typically drought tolerant).

#### TREES

##### Large Trees (> 12m H)

Botanic Name	Common Name	Mature Size HxW
Angophora costata	Smooth-barked Apple	18 x 10m
Eucalyptus sideroxylon 'Rosea'	Red Ironbark	5 x 11m
Platanus orientalis 'Digitata'	Cut Leaf Plane Tree	18 x 10m
Melaleuca wilsonii	Violet Honey Myrtle	1.5 x 2.0m

##### Medium Trees (8-12m H)

Botanic Name	Common Name	Mature Size HxW
Eucalyptus leucoxylon 'Moreland Elite'	Yellow Gum	12 x 10m
Corymbia maculata 'Little Mac'	Dwarf Spotted Gum	10 x 7m
Melia azedarach	White Cedar	10 x 8m
Pyrus ussuriensis ssp ovoidea	Manchurian Pear	12 x 7m
Ulmus parvifolia 'Todd'	Todd Chinese Elm	10 x 11m

##### Small Trees (<8m H)

Botanic Name	Common Name	Mature Size HxW
Acca sellowiana	Feijoa Tree	5 x 3m
Allocasuarina verticulata	Drooping Sheoak	8 x 6m
Citrus limon	Lemon Tree	3 x 2m
Lagerstoemia indica x L. fauriei 'Biloxi'	Biloxi Crepe Myrtle	7 x 5m
Pistacia chinensis	Chinese Pistachio	8 x 6m

#### SHRUBS

##### Large Shrubs (> 2m H)

Botanic Name	Common Name	Mature Size HxW
Acacia acinacea	Gold Dust Wattle	2.0 x 1.5m
Callistemon pallidus	Lemon Bottlebrush	3.0 x 2.0m
Grevillea 'Robyn Gordon'	Hybrid grevillea	2.0 x 3.0m
Melaleuca decussata	Cross leaved honey Myrtle	3.0 x 3.0m
Westringia fruticosa	Coast Rosemary	2.0 x 1.0m

##### Medium Shrubs (1-2m H)

Botanic Name	Common Name	Mature Size HxW
Acacia cognata 'Winter Flame'	Winter Flame Bower Wattle	0.8 x 1.0m
Anigozanthos species	Kangaroo Paw	1.0 x 0.8m
Lavandula sp.	Lavender	1.0 x 1.2m
Leucophyta brownii	Cushion Bush	1.0 x 1.0m
Melaleuca wilsonii	Violet Honey Myrtle	1.5 x 2.0m

##### Small Shrubs (<1m H)

Botanic Name	Common Name	Mature Size HxW
Banksia intergrifolia 'Roller Coaster'	Prostrate Banksia	0.4 x 2.5m
Rhagodia spinescens 'Aussie Flat Bush'	Seaberry Saltbush	0.5 x 1.0m
Rosmarinus officinalis 'Prostratus'	Prostrate Rosemary	0.3 x 0.9m
Veronica perfoliata	Diggers Speedwell	0.8 x 0.8m
Westringia 'Grey Box'	Native Rosemary	0.5 x 0.5m

##### Groundcovers

Botanic Name	Common Name	Mature Size HxW
Casuarina glauca 'Cousin It'	Cousin It Swamp Sheoak	0.1 x 1.5m
Carpobrotus rossii	Pig Face	0.5 x 0.4m
Kennedia prostrata	Running Postman	0.2 x 1.5m
Myoporum parvifolium	Creeping Boobialla	0.2 x 1.2m
Rhagodia spinescens 'Aussie Flat Bush'	Seaberry Saltbush	0.4 x 1.0m

##### Grasses

Botanic Name	Common Name	Mature Size HxW
Dianella longifolia	Pale Flax Lily	0.7 x 0.5m
Dianella revoluta 'Little Rev'	Little Rev Black-anther Flax Lily	0.3 x 0.3m
Lomandra longifolia 'Tanika'	Tanika Spiny Headed Mat-rush	0.5 x 0.6m
Pennisetum alopecuroides 'Nafray'	Nafray Fountain Grass	0.6 x 0.6m
Poa labillardieri	Common Tussock Grass	0.6 x 0.5m

# 7 Donnybrae Design Panel

The Donnybrae Design Panel welcomes enquiries about the guidelines and encourages you to discuss your preliminary plans to avoid unnecessary delay due to non-compliance.

The Donnybrae Design Panel can provide advice about good siting and appropriate materials and colours for your house and will help you finalise your plans so that they comply with the guidelines.

## 7.1 Dwelling Approval

All house plans at Donnybrae require approval from the Donnybrae Design Panel. The following plans and information are required to achieve design approval:

- Application Form and Checklist
- Site plan, showing:
  - House and garage footprint
  - Dimensioned setbacks from all boundaries
  - Driveway location, material and colour
  - Fencing location and height
- Floor plan/s with all dimensions
- All elevations
- Sections
- Details of external elements (i.e. garage wall on boundary details)
- Schedule of materials and colours

## 7.2 Other features to be shown:

- Details of any cut and fill proposed to create the building platform and driveway, final levels and any retaining wall proposed.
- The location of external fixtures:
  - satellite dishes
  - clothesline
  - garden shed(s)
  - solar water heater, hot water service, ducted heating unit
  - air conditioner/evaporative cooler
  - photo-voltaic cells
  - rainwater tanks

Application documents must be emailed to:  
**donnybraedesignpanel@denniscorp.com.au**

If you are unable to email plans, material and colour schedules and the completed checklist(s), then 1 hard copy of the documents, must be forwarded by mail to:

**Donnybrae Design Panel  
DFC (DONNYBROOK) PTY LTD  
211 Waverley Road  
Malvern East, VIC, 3145**

If your plans comply with the guidelines, the Donnybrae Design Panel will endeavour to approve your plans within 10 business days.

In addition to the Donnybrae Design Panel approval, you will be required to obtain a separate Building Permit from your Registered Building Surveyor prior to the commencement of construction.

### 8.1 COVER SHEET

The Donnybrae Design Guidelines apply to the siting and design of houses at Donnybrae. The following checklist will assist the Donnybrae Design Panel assess compliance with the guidelines.

Donnybrae Design Guidelines Checklist is also available to download online at [www.donnybrae.com.au/designguidelines](http://www.donnybrae.com.au/designguidelines)

Complete and attach this cover sheet and checklist to your application to the Donnybrae Design Panel.

#### Donnybrae lot details

Lot number \_\_\_\_\_

Street \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

#### Owner details

Full name \_\_\_\_\_

Mailing address \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone BH \_\_\_\_\_

Mobile \_\_\_\_\_

Email \_\_\_\_\_

#### Builder Details

Contact name \_\_\_\_\_

Company \_\_\_\_\_

Mailing address \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone \_\_\_\_\_

Email \_\_\_\_\_

#### Design Details

House type \_\_\_\_\_

Façade type \_\_\_\_\_

We certify that the information in the attached application is a true and accurate representation of the home I/We intend to construct.

In the event that changes are made to the proposed plans, I/We undertake to resubmit this application for approval of such changes.

Signed \_\_\_\_\_

Name in print \_\_\_\_\_

Date \_\_\_\_\_

## 8.2 CHECKLIST

### Lots with Building Envelope

Is the lot affected by a Building Envelope?

YES  NO

If yes, does the proposed house fall within the Building Envelope?

YES  NO

#### BAL lots

Have investigations into BAL requirements taken place?

YES  NO

If yes, have the BAL requirements been taken into consideration in the proposed house design.

YES  NO

#### Landmark Lots

Is the property a Landmark Lot?

YES  NO

If yes, have all additional requirements been satisfied?

YES  NO

### House Setbacks from front, side and rear

Are the required setbacks achieved?

YES  NO

Does a porch, verandah, pergola, eaves, fascia and gutters comply within the allowable encroachment criteria?

YES  NO

### Materials and Colours

Is the requirement for no lightweight infill panels over the principal façade windows and garage doors achieved?

YES  NO

Is there special emphasis on the elevations that address the streets and public spaces?

YES  NO

Is the principal façade articulated?

YES  NO

Is the garage door panel lift or sectional?

YES  NO

Does the schedule of materials and colours show the details for the following items:

- Walls  YES  NO
- Roof  YES  NO
- Gutter/Fascial/Downpipes /Barge Capping  YES  NO
- Garage Door  YES  NO
- Front Door  YES  NO
- Render  YES  NO
- Other Façade Elements e.g. feature beams, stone stacks etc.  YES  NO
- Driveways/Paths  YES  NO
- Meter box  YES  NO
- Other Façade Elements e.g. feature beams, stone stacks etc.  YES  NO

### House Orientation

Does the house present an identifiable entrance to the street?

YES	NO
<input type="checkbox"/>	<input type="checkbox"/>

### Roof Pitch

Is the roof pitch a minimum 22.5 degrees?

<input type="checkbox"/>	<input type="checkbox"/>
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### External Features

Are any hot water unit, heating, air-conditioning or other plant and equipment concealed by the side fence?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

### Corner Block

Is the 2 metres set back from the secondary street frontage achieved?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

Does the house address both the principal and secondary street frontages?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

Does the house have adequately articulated façades?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

Do the architectural elements used in the main façade replicate on the secondary frontage?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

Is the side fence setback a minimum of 3 metres from the front building line on the secondary frontage?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

### Fences

Are the fences of the dwelling timber paling, capped and lapped at a maximum height of 2 metres?

YES	NO
<input type="checkbox"/>	<input type="checkbox"/>

### Parking Your Car

Is the garage setback 5 metres from the front property boundary and 0.5 metres behind the front building line of the house?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

Does the construction of the garage match that of the house?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

### Access and Driveways

Is there only one driveway?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

Is the driveway not wider than 3.5 metres at the street boundary?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

Is there planting between the driveway and property boundary?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

### Parking of Recreational Vehicles and Trailers

Is parking of a recreational vehicle and trailer required?

<input type="checkbox"/>	<input type="checkbox"/>
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If yes, will it be accommodated so it is not visible from the street?

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

**Donnybrae Estate, Land Sales Centre:**

**Open daily 10am – 5pm, 875 Donnybrook Rd. PH: 1300 303 380 [donnybrae.com.au](http://donnybrae.com.au)**

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 ANOTHER DENNIS  
FAMILY COMMUNITY